

Right Angle Inspections, LLC

Property Inspection Report



123 Any St, Everytown, CO 80123
Inspection prepared for: Will Buy
Real Estate Agent: Goode Sell - ABC Real Estate

Date of Inspection: 11/7/2015 Time: 11:00
Age of Home: 1979 Size: 1850'
Weather: Sunny

Inspector: Tom Yeager
Phone: (303) 868-8479
Email: inspector@rightanglepi.com
www.rightanglepi.com



Inspection Details

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. **Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.**

1. Attendance

In Attendance: Client present for the entire inspection. • Buyer Agent present for the entire inspection.

2. Home Type

Home Type: Single Family Home • Ranch Style

3. Occupancy

Occupancy: Not occupied but fully furnished. • The utilities were on at the time of inspection.

Interior Areas

The Interior section covers areas of the house that are not considered part of the Bathrooms, Bedrooms, Kitchen or areas covered elsewhere in the report. Interior areas usually consist of hallways, foyer, and other open areas. Within these areas the inspector is performing a visual inspection and will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas on the interior.

The inspector does not usually test for mold or other hazardous materials. A qualified expert should be consulted if you would like further testing.

1. Smoke Detectors

Observations:

- No carbon monoxide alarm observed. Colorado state law now requires a carbon monoxide alarm within 15 feet of the entrance to any and all lawful sleeping quarters in homes for sale. A seller of residential real property is responsible for assuring that an operational carbon monoxide alarm is properly installed.
- Recommend installing additional smoke detectors at appropriate locations for added safety. Current safety standards call for smoke detectors in all bedrooms, hallways, staircases, basements and crawl spaces (if any). Most conscientious homeowners will install battery operated smoke detectors in areas that are lacking in older homes. Newer home have the detectors hardwired with battery back up and all are interfaced, this will set off all of the detectors in the house at the same time. Unless a complete renovation is to be performed, maintaining battery operated detectors is a sensible solution for adequate fire and smoke warning.

2. Wall Condition

Materials: Drywall walls noted.

3. Fireplace

Location: Family Room

Materials: Masonry fireplace noted.

Observations:

- Damper is difficult to operate.
- The burn chamber and flue are dirty.
- Professional cleaning and adjustments are recommended prior to further use.



Interior Areas Fireplace

4. Window Condition

Materials: Aluminum framed sliding window noted. • Insulated glass noted.

Observations:

- Caulking between the window and frame is recommended at many of the windows.
- There are many windows that need service work. Some of the main house windows do not latch correctly. Many sunroom windows do not open a close correctly. I recommend a qualified window service person to thoroughly further evaluate ALL windows throughout to determine the extent of repairs and cost. When multiple problems are found; I report as a grouping, reporting every single maintenance issue and/or defect at precise locations is outside the scope of this inspection in this situation.



Caulk and paint



Bad thermal seal



Missing/dammaged hardware

Kitchen

The kitchen is used for food preparation and often for entertainment. Kitchens typically include a stove, dishwasher, sink and other appliances.

1. Overview



Kitchen Overview

2. Microwave

Observations:

- No permanently mounted microwave present.

3. GFCI

Observations:

- **No GFCI in the kitchen.** Ground fault circuit interruption protection should be installed at all outlets near water sources and exterior including garages. Required locations have continually been added to safety standards over the years as the protection these devices provide have saved lives and prevented injury. Upgrading an older structure to be in compliance with current standards is highly recommended but not required. Bringing certain circuits to current standards is typically the responsibility of the purchaser but is subject to negotiation due to the safety aspect of these devices. Consult a competent and licensed electrician to install these devices at the appropriate locations.



No GFCI

Heat/AC

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

1. Heater Condition

Location: The furnace is located in the crawlspace

Materials:

- Gas fired forced hot air
- Brand Name: Bryant
- Year of manufacture: 2014

Observations:

- Unit is newer, regular maintenance and service is always recommended.

2. Air Conditioner

Materials:

- Brand Name: Lennox
- Year of Manufacture: 2005
- Location: Split type, condenser near the furnace and the compressor is outside.

3. Filters

Location: Located inside heater cabinet.



Heat/AC Filters

Water Heater

1. Description

Materials:

- Brand Name or Manufacture: US Craftmaster.
- Fuel or Energy Source: Natural Gas
- Capacity: Approximately 40 Gallons
- Year of Manufacture: 2012



Garage

1. Exterior Door

Observations:

- Old door knob deteriorated on the exterior. Older, not very secure, locking mechanism. Recommend upgrading to newer and more secure hardware.



Garage Exterior Door

2. Fire Door

Observations:

- Garage-house door does not close automatically. This is to act as a fire stop, and keeps exhaust fumes out. Self-closing devices, such as spring loaded hinges, on garage access doors into the living space should be installed for adequate fire safety protection.



Electrical

This report describes the amperage and voltage rating of the service, the location of the main disconnect and any sub panel(s), the presence of solid conductor aluminum branch circuit wiring, the presence or absence of smoke detectors and wiring methods. Inspectors are required to inspect the viewable portions of the service drop from the utility to the house, the service entrance conductors, cables and raceways, the service equipment and main disconnects, the service grounding, the interior components of the service panels and sub panels, the conductors, the over-current protection devices (fuses or breakers), ground fault circuit interrupters and a representative number of installed lighting fixtures, switches and receptacles. All issues or concerns listed in this Electrical section should be construed as current and a potential personal safety or fire hazard. Repairs should be a priority, and should be made by a qualified, licensed electrician.

1. Service

Materials: Service cables are underground.

2. Electrical Panel

Location: Main panel box located in garage.

Observations:

- Main Shut OFF location: at the mail panel.
- No major system safety or function concerns noted at time of inspection at main panel box.



Main shut off

3. Main Amp Breaker

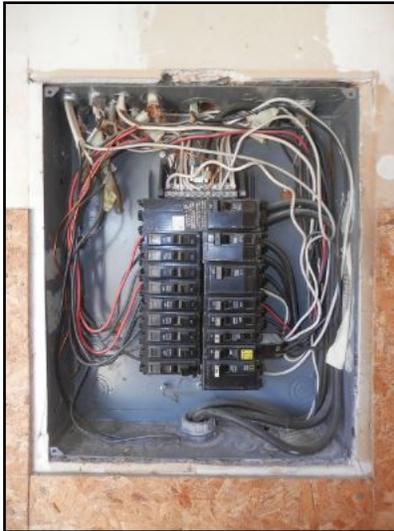
Observations:

- 100 Amp rating.

4. Wiring

Observations:

- Service Conductors: Aluminum service conductors. Aluminum is acceptable for service conductor applications
- Wiring Method(s): The observed cable system(s) installed are non-metallic sheathed cables, commonly known as "Romex".
- Grounding: This wire system is grounded.
- Branch Circuit Conductors: Combination of copper and aluminum at 220 volt circuits. Aluminum wiring at 220 volt applications is known to be safe and still used today all types of modern construction. Conductor materials confirmed in the service panel only



Panel wiring

Roof

As with all areas of the house, we recommend that you carefully examine the roof immediately prior to closing the deal. Note that walking on a roof voids some manufacturer's warranties. Adequate attic ventilation, solar / wind exposure, and organic debris all affect the life expectancy of a roof. Always ask the seller about the age and history of the roof. On any home that is over 3 years old, experts recommend that you obtain a roof certification from an established local roofing company to determine its serviceability and the number of layers on the roof. We certainly recommend this for any roof over 5 years of age. Metal roofs in snow areas often do not have gutters and downspouts, as there is a concern that snow or ice cascading off the roof may tear gutters from the house. Likewise, be advised that such cascading may cause personal injury or even death. If this house has a metal roof, consult with qualified roofers or contractors regarding the advisability of installing a damming feature which may limit the size and amount of snow / ice sliding from the roof.

1. Roof Condition

Roof was accessible for walking. • Surface materials observed at most roof areas.

Materials:

- Composition Shingles with raised profile and overlaying tabs.
- Age estimated to be between 10 and 15 years.

Observations:

- Roof surface material has more wear than normal for the age. Long term dependability is questionable.
- Note that experts recommend that any roof over 10 years old receive a roof certification by a local roofing specialist.
- A licensed and competent roofing contractor should be called to make further evaluation and perform repairs as needed.



Wear noted

2. Chimney

Observations:

- No chimney cap or spark arrestor noted. Recommend installation to prevent premature weathering, water intrusion, and nesting of wildlife.
- Case cap (chimney crown) is cracked and should be caulked to reduce opportunity for water infiltration and damage. This is a common maintenance item that is often neglected by homeowners; you should make a crown inspection part of your routine seasonal maintenance checklist.



No spark arrestor

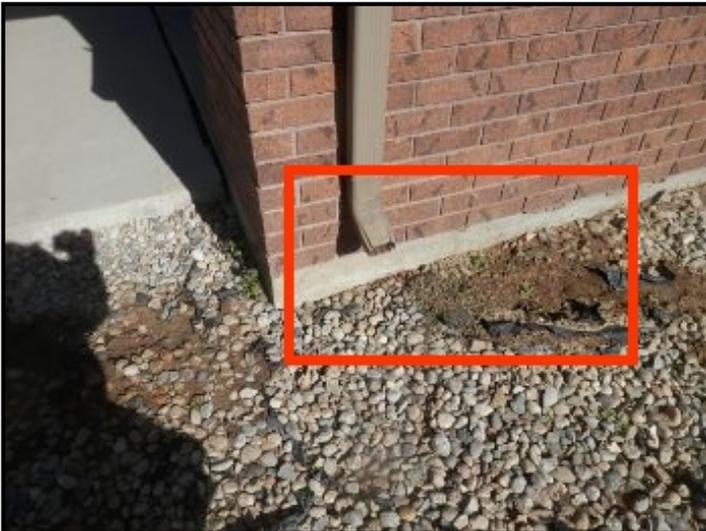


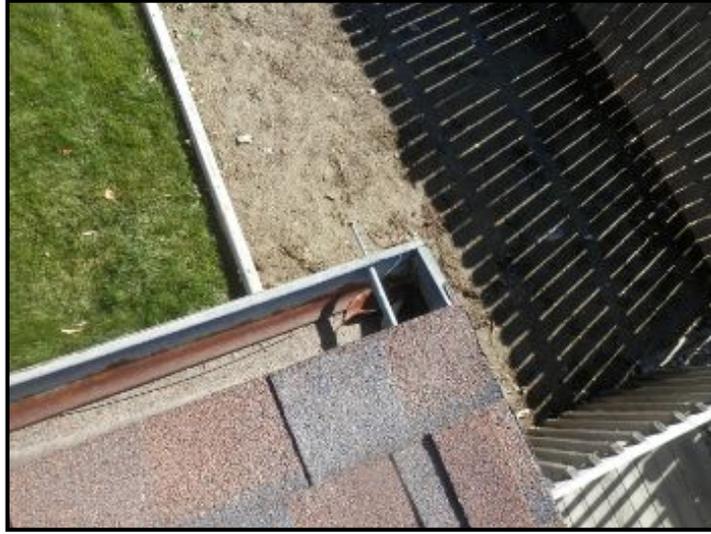
Crack in the cover

3. Gutter

Observations:

- Downspout extensions are missing or insufficient: Install to divert water at least 4 to 6 feet away from the foundation.
- The gutters are older and corroding. Some areas need reattaching and/or sloping. System components are deteriorating, may have a limited life. A qualified service technician should perform further evaluation and make repairs as needed.





Attic

This report describes the method used to inspect any accessible attics; and describes the insulation and vapor retarders used in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect insulation and vapor retarders in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present.

1. Overview



Attic Overview

2. Access

Location:

- Garage ceiling.

3. Ventilation

Observations:

- Appears adequate.

4. Insulation Condition

Materials: Blown in fiberglass insulation noted.

Depth: Insulation averages about 12-14 inches in depth

Exterior Areas

This section describes the exterior wall coverings and trim. Inspectors are required to inspect the exterior wall coverings, flashing, trim, all exterior doors, the stoops, steps porches and their associated railings, any attached decks and balconies and eaves, soffits and fascias accessible from ground level.

1. Doors

Observations:

- Front Door - Dead bolt is hard to operate. Minor adjustments are needed to restore proper operation. Recommend further evaluation and repairs made by an experienced locksmith.



2. Window Condition

Observations:

- The screens of several windows in the home are damaged.



3. Exterior Paint

Observations:

- Peeling paint observed, suggest scraping and painting as necessary.
- Preventive care is advised to preserve the exterior surface materials. Obtaining estimates from licensed painters is advised.



Exterior Areas Exterior Paint

Foundation

This report describes the foundation, floor, wall, ceiling and roof structures and the method used to inspect any accessible under floor crawlspace areas. Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist. Inspectors are not required to offer an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guaranty that the foundation, and the overall structure and structural elements of the building is sound.

1. Type

Materials:

- Standard below and above grade poured concrete foundation walls.
- Floor Supports are best described, as bearing walls.

2. Sump Pump

Observations:

- No sump pump installed.

Grounds

Inspectors shall inspect adjacent or entryway walkways, patios, and driveways; vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building.

1. Driveway and Walkway Condition

Materials: Concrete driveway noted. • Concrete sidewalk noted.

Observations:

• Typical cracking was observed at the concrete surfaces. Further deterioration will occur as water expands and contracts from freeze and thaw cycles. Recommend sealing the cracks to prolong the life of the concrete.

• **Uneven slabs at the driveway. This is a potential tripping hazard. Recommend repair and or replacement of the displaced walks.**



Grounds Driveway and Walkway Condition



Grounds Driveway and Walkway Condition

2. Vegetation Observations

Observations:

• Maintenance Tip: When landscaping, keep plants, even at full growth, at least a foot (preferably 18 inches) from house siding and windows. Keep trees away from foundation and roof. Plants in contact or proximity to home can provide pathways for wood destroying insects, as well as abrade and damage siding, screens and roofs.

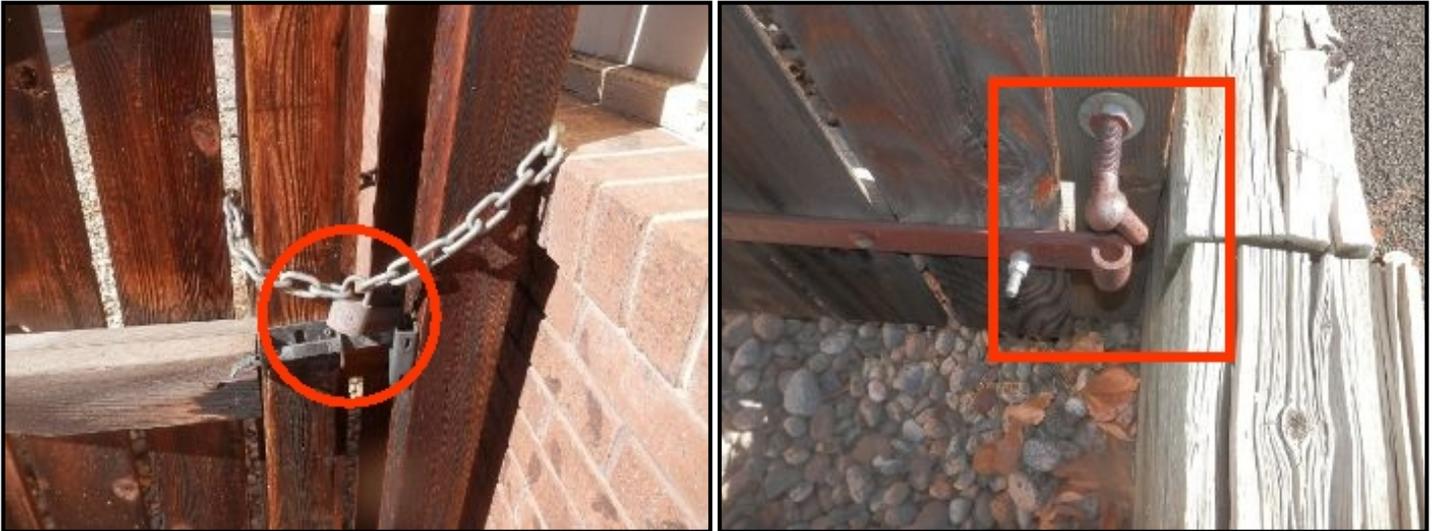
3. Gate Condition

Materials: Wood • Vehicle gate

Observations:

• Gates were locked at the time of inspection, did not operate.

• **Gate hinges are in need of minor repairs and/or adjustments in order to restore proper operation.**



Grounds Gate Condition

4. Deck

Observations:

- Rotted wood board(s) noted.
- There is major weathering at the deck surface materials, should be painted or have finish sealant applied to preserve the materials. Maintenance should not be delayed, weather damage is noted but salvageable, will worsen if not quickly addressed. A licensed contractor should be called for estimates where maintenance and sealant are desired.



5. Main Gas Valve Condition

Location: Northwest corner of the building. • Main gas shut off located at outside meter. Tool is required to shut off the fuel supply.

6. Water Pressure

Observations: High pressure, Between 90 and 95 PSI.

7. Pressure Regulator

Observations: The water pressure is excessive. We recommend the installation of a whole house pressure regulator. Recommend 50 to 60 psi. The services of a qualified plumber is recommended.

8. Exterior Faucet Condition

Location: Front and back of the house, typical.

Observations:

- Leak observed at valve stem, this leak is prevalent when a restriction is placed on the water flow. If no restriction is on the faucet the leak is not always detectable. Repairs that are needed are considered normal maintenance and upkeep.
- Freeze proof hose faucets are noted. Be sure to disconnect all hoses and attachments before seasonal freezing occurs.



9. Fence Condition

Materials: Wood

Observations:

- The fence is leaning, rebuilding areas of the fencing should be considered.



Grounds Fence Condition

Basement/Crawlspace

1. Overview



Basement/Crawlspace Overview

2. Walls

Description: The entire substructure area is comprised of a crawl space.

Observations:

- Efflorescence observed; this is a mineral deposit left behind from previous exterior water infiltration.



Efflorescence

3. Drainage

Observations:

- Moisture at the corners in the crawl space is found. Typical of poor downspout drainage. The best defense against water seepage is good drainage of soils away from the foundation wall. The observed conditions are not alarming, however monitoring for future water penetration is necessary. I advise consulting appropriate persons for further evaluation and performing repairs if the condition continues to worsen.



Wet area

Plumbing

1. Main Shut Off

Observations:

- Main Water Shut Off Location: Crawl space.



Plumbing Main Shut Off

Master Bedroom

1. Wall Condition

Observations:

- Moderate cracks are found in the walls. Typical for the age.



Master Bedroom Wall Condition

Hallway Bathroom

1. Bath Tubs

Observations:

- Tub stop does not operate properly. Tub will not hold water. A qualified plumber should make repairs.



Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Interior Areas		
Page 2 Item: 1	Smoke Detectors	<ul style="list-style-type: none"> • No carbon monoxide alarm observed. Colorado state law now requires a carbon monoxide alarm within 15 feet of the entrance to any and all lawful sleeping quarters in homes for sale. A seller of residential real property is responsible for assuring that an operational carbon monoxide alarm is properly installed. • Recommend installing additional smoke detectors at appropriate locations for added safety. Current safety standards call for smoke detectors in all bedrooms, hallways, staircases, basements and crawl spaces (if any). Most conscientious homeowners will install battery operated smoke detectors in areas that are lacking in older homes. Newer home have the detectors hardwired with battery back up and all are interfaced, this will set off all of the detectors in the house at the same time. Unless a complete renovation is to be performed, maintaining battery operated detectors is a sensible solution for adequate fire and smoke warning.
Page 3 Item: 4	Window Condition	<ul style="list-style-type: none"> • There are many windows that need service work. Some of the main house windows do not latch correctly. Many sunroom windows do not open a close correctly. I recommend a qualified window service person to thoroughly further evaluate ALL windows throughout to determine the extent of repairs and cost. When multiple problems are found; I report as a grouping, reporting every single maintenance issue and/or defect at precise locations is outside the scope of this inspection in this situation.
Kitchen		
Page 4 Item: 3	GFCI	<ul style="list-style-type: none"> • No GFCI in the kitchen. Ground fault circuit interruption protection should installed at all outlets near water sources and exterior including garages. Required locations have continually been added to safety standards over the years as the protection these devices provide have saved lives and prevents injury. Upgrading an older structure to be in compliance with current standards is highly recommend but not required. Bringing certain circuits to current standards is typically the responsibility of the purchaser but is subject to negotiation due to the safety aspect of these devices. Consult a competent and licensed electrician to install these devices at the appropriate locations.
Garage		
Page 8 Item: 1	Exterior Door	<ul style="list-style-type: none"> • Old door knob deteriorated on the exterior. Older, not very secure, locking mechanism. Recommend upgrading to newer and more secure hardware.

Page 8 Item: 2	Fire Door	<ul style="list-style-type: none"> • Garage-house door does not close automatically. This is to act as a fire stop, and keeps exhaust fumes out. Self-closing devices, such as spring loaded hinges, on garage access doors into the living space should be installed for adequate fire safety protection.
Roof		
Page 11 Item: 1	Roof Condition	<ul style="list-style-type: none"> • Roof surface material has more wear then normal for the age. Long term dependability is questionable. • Note that experts recommend that any roof over 10 years old receive a roof certification by a local roofing specialist. • A licensed and competent roofing contractor should be called to make further evaluation and perform repairs as needed.
Page 12 Item: 3	Gutter	<ul style="list-style-type: none"> • The gutters are older and corroding. Some areas need reattaching and/or sloping. System components are deteriorating, may have a limited life. A qualified service technician should perform further evaluation and make repairs as needed.
Exterior Areas		
Page 16 Item: 3	Exterior Paint	<ul style="list-style-type: none"> • Peeling paint observed, suggest scraping and painting as necessary. • Preventive care is advised to preserve the exterior surface materials. Obtaining estimates from licensed painters is advised.
Grounds		
Page 18 Item: 1	Driveway and Walkway Condition	<ul style="list-style-type: none"> • Uneven slabs at the driveway. This is a potential tripping hazard. Recommend repair and or replacement of the displaced walks.
Page 18 Item: 3	Gate Condition	<ul style="list-style-type: none"> • Gate hinges are in need of minor repairs and/or adjustments in order to restore proper operation.
Page 19 Item: 4	Deck	<ul style="list-style-type: none"> • Rotted wood board(s) noted. • There is major weathering at the deck surface materials, should be painted or have finish sealant applied to preserve the materials. Maintenance should not be delayed, weather damage is noted but salvageable, will worsen if not quickly addressed. A licensed contractor should be called for estimates where maintenance and sealant are desired.
Page 20 Item: 7	Pressure Regulator	<p>The water pressure is excessive. We recommend the installation of a whole house pressure regulator. Recommend 50 to 60 psi. The services of a qualified plumber is recommended.</p>